



17/01634/FUL – 42 High Street Shepperton.

Scale 1:1,250

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Planning Committee

7 February 2018



<b>Application No.</b>	17/01634/FUL		
<b>Site Address</b>	42 High Street, Shepperton,		
<b>Proposal</b>	Change of use from offices/bank to a mixed use of commercial units at ground floor level and to 3 no. residential flats above on first floor with balconies, erection of new second floor with 3 no. flats with balconies, erection of part single storey, part two storey rear extension and new windows and doors including new access to front.		
<b>Applicant</b>	Thames House Property – Mrs Lina Shakiry		
<b>Ward</b>	Shepperton Town		
<b>Call in details</b>	Called in by Cllr Barnard due to concerns over loss of privacy/overlooking; noise and odour from potential commercial uses; lack of parking; no disabled access to upper floors; no fire escape.		
<b>Case Officer</b>	Matthew Clapham		
<b>Application Dates</b>	Valid: 01.11.2017	Expiry: 27.12.2017	Target: Extension of time agreed until 16.02.2018.
<b>Executive Summary</b>	<p>The application site is located on the eastern side of the High Street and is currently occupied by a detached two storey building with car parking to the area accessed via an access drive to the northern side of the site. It was previously used as a bank, however has been vacant for approximately 2 years. It is located within the Shepperton Town Centre Shopping and Employment Areas.</p> <p>There have been two previous proposals for alterations and extensions to this site, both of which were refused. The first scheme was for 9 residential units, the second 7 units, both with commercial on the ground floor. These schemes were refused on the grounds of design, overdevelopment and loss of privacy to adjoining dwellings.</p> <p>The proposal under consideration seeks to retain commercial uses at ground floor level, extend the first floor to the rear and add a new second storey to create 6 flats over the first and second storeys. The proposal includes balconies to the side and rear to provide amenity space with screening to the rear balconies. 10 parking spaces would be provided, utilising the existing access onto the High Street.</p> <p>No objections have been raised by the County Council Highway Authority nor Environmental Health (Pollution Control). The alterations to the design, bulk and mass of the building and screening to balconies are considered to have mitigate previous concerns regarding</p>		

	overdevelopment of the site and potential overlooking. Satisfactory parking provision is provided and separation distances comply with guidance contained in the Councils Supplementary Planning Document for the Design of Residential Extensions.
<b>Recommended Decision</b>	This application is recommended for approval, subject to conditions.

## MAIN REPORT

### 1 DEVELOPMENT PLAN

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

- EN1 - Design of New Development
- HO1 - Providing for New Housing Development
- HO4 - Housing Size and Type
- HO5 - Density of Housing Development
- CC3 - Parking Provision
- TC3 – Development in Shepperton Town Centre
- EM1 – Employment Development

### 2 RELEVANT PLANNING HISTORY

#### 2.1 17/00115/FUL

Change of use from offices/bank to a mixed use of commercial units at ground floor level and to 4 no. residential flats above on first floor with balconies, erection of a new second floor with 3 no. flats with balconies, erection of ground floor rear extension and new windows and doors including new access to front.

Refused

02.03.2017

#### 16/00704/FUL

Change of use from offices/bank to a mixed use of commercial units at ground floor level and 9 residential flats above, including new second floor with 4 no. balconies, erection of ground floor rear extension and new windows and doors.

Application Refused

11.07.2016

### 3 DESCRIPTION OF CURRENT PROPOSAL

3.1 The application site is located on the eastern side of the High Street and is currently occupied by a detached two storey building with car parking to the rear via an access drive to the northern side of the site. It was previously used as a bank however has been vacant for approximately 2 years. It is located within the Shepperton Town Centre Shopping and Employment Areas.

3.2 The proposal under consideration seeks to retain commercial uses at ground floor level, extend the first floor to the rear and add a new second storey to create 6 flats over the first and second storeys. The development comprises 4 no. 1 bedroom flats and 2 no. 2 bedroom flats. The proposal retains the existing façade of the building at ground and first floor levels, with an additional entrance door being added to the front of the building to allow access to the flats above. The building will be extended at first floor level to the rear, with a new second storey being added in a 'mansard' style of design, including dormer window features. Balconies are also included to the side and rear to provide amenity space. 10 parking spaces would be provided, utilising the existing access onto the High Street.

#### **4 CONSULTATIONS**

4.1 The following table shows those bodies consulted and their response

<b>Consultee</b>	<b>Comment</b>
<b>County Highway Authority</b>	No objections subject to conditions.
<b>The Council's Head of Streetscene</b>	Verbally confirmed no objections.
<b>Environmental Health - Pollution Control Officer (Contaminated Land)</b>	No objections subject to conditions.

#### **5 PUBLIC CONSULTATION**

18 neighbour notification letters were sent, with 12 responses to date. 11 of these letters objected on the following grounds:

- impact on character of the area
- traffic generation
- loss of privacy and overlooking
- visual intrusion
- potential noise and disturbance were commercial units to be in A3 use
- non-compliance with the Human Rights Act
- failure to address previous reasons for refusal
- general over development of the site

1 letter of support was received stating that redevelopment of the site should occur as soon as possible as the building has been vacant for some time.

A letter was also received from SCAN regarding the lack of disabled access to the upper floors.

#### **6 PLANNING ISSUES**

- Principle of Development

- Design, Appearance and Visual Impact
- Residential Amenity
- Housing Size/Type/Density
- Parking / Transportation

## **7 PLANNING CONSIDERATIONS**

7.1 The previous application (17/00115/FUL) was refused on the following grounds:

*The proposed development by virtue of its design, bulk and mass is not considered to pay sufficient regard to the character and appearance of the existing building and as such, would be detrimental to the character and appearance of the street scene and the visual amenity of the area. Furthermore, the proposed first and second floor balconies on the rear elevation are considered to cause an unacceptable loss of amenity to neighbouring properties through overlooking / loss of privacy. As such, it is contrary to Policy EN1 of the Core Strategy and Policies DPD (2009) and Guidance contained in the Supplementary Planning Document for the Design of Residential Extensions and New Residential Development (2011).*

This application is to be assessed on whether this reason for refusal has been overcome by the submitted proposals.

### Principle of Development

- 7.2 The principle of converting and extending the upper levels to residential use has not been resisted in the previous applications. Furthermore, the proposal would retain a commercial use at ground floor level and therefore would also allow continued employment opportunities on the site in compliance with Policies TC3 and EM1 of the Spelthorne Core Strategy and Policies DPD (2009). The existing first floor area was used as ancillary accommodation for the bank. In view of the retention of the commercial use; the sustainable town centre location and the site being a brownfield developed site, there is no objection in principle to the development for partly residential purposes.
- 7.3 When considering planning applications for housing, local planning authorities should have regard to the government's requirement that they significantly boost the supply of housing and meet the need for housing in their area so far as is consistent with policies set out in the National Planning Policy Framework (NPPF) para 47.
- 7.4 Relevant policies for the supply of housing cannot be considered up-to-date if the local planning authority cannot demonstrate a five-year supply of deliverable site (para 49 of NPPF).
- 7.5 The Council has embarked on a review of its Local Plan and accepts that the housing target in its Core Strategy and Policies DPD-Feb 2009 of 166 dwellings per annum is significantly short of its latest objectively assessed need of 552-757 dwellings per annum (Para 10.42 – Strategic Housing Market Assessment

– Runnymede and Spelthorne – Nov 2015). In September 2017, the government produced a consultation paper on planning for the right homes in the right places. The proposals included a standard method for calculating local authorities' housing need and proposed a figure of 590 per annum for Spelthorne. On the basis of its objectively assessed housing need the Council is unable to demonstrate a five-year supply of deliverable sites.

- 7.6 However, the objectively assessed need figure does not represent a target as it is based on unconstrained need. Through the Local Plan review the Borough's housing supply will be assessed in light of the Borough's constraints which will be used to consider options for meeting need. Once completed, the Borough's up to date Strategic Land Availability Assessment will identify further opportunity sites for future housing development that can then be considered for allocation in the new Local Plan. This will also form the basis for a revised 5-year housing land supply figure.
- 7.7 Para 14 of the NPPF stresses the presumption in favour of sustainable development and that proposals which accord with a development plan should be approved without delay. When the development plan is absent, silent or relevant policies are out of date, permission should be granted unless *'any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against policies in the Framework taken as a whole or specific policies in this Framework indicate development should be restricted.'* This application must be considered having regard to the above requirements of Para 14 of the NPPF and given its sustainable location is considered to be acceptable in principle.

#### Design, Appearance and Visual Impact

- 7.8 Policy EN1 of the Spelthorne Core Strategy and Policies DPD (CS&P DPD) seeks to attain high standards of design and layout of new development. The building is not listed or locally listed, although the existing building has a distinctive design and is situated in a prominent location within Shepperton Town Centre. The character of the front elevation will be largely retained and modified including a new mansard style roof and a new front door to access the flats. The proposed building would be three stories high, with a new second storey flat roof element replacing the existing pitched roof. The design retains a mansard style of roof comparable to that previously refused. However, this is set back from all elevations and alterations to the fenestration have improved its visual appearance and provided greater symmetry to the existing building below.
- 7.9 The extended parts of the building would be visible from the sides and rear, however only limited views of the second storey would be available when viewed from the immediate street scene to the front. Careful consideration has been given as to whether the proposal has overcome the previously expressed design concerns and on balance, particularly after taking into account the Council's lack of a five year housing supply and the need to provide a 'planning balance' it is considered the design is acceptable and would not appear out of character within the street scene.

## Residential Amenity

- 7.10 The proposed extensions would result in the building being closer to the rear boundary of those properties in Broadlands Avenue. The extensions to the rear at first floor level do comply with the 10.5m separation distance set out in the SPD to the rear boundary, as do the balcony areas. In addition, the extension to the roof results in a three storey development which has a separation distance of 16m which meets that required by the SPD (15m). Furthermore, the amended scheme now has the balconies 15m away from the rear boundary, in compliance with the SPD. Privacy screens have also been provided to the balconies, and when seated on the balcony, views to the rear would be minimised. It is also noted that there is an extensive tree screen along the rear boundary to the properties backing onto the site in Broadlands Avenue and that the gardens are long, with in excess of 30m between the proposals and the rear of the dwellings in Broadlands Avenue. No concerns are raised from the balconies to the side as they would overlook commercial / community properties. The balconies are also relatively small in size, negating the likelihood of any significant noise and disturbance from the use of these balconies. Therefore, it is considered that the proposal has overcome the previous concerns, complies with Policy EN1 of the CS&P DPD and guidance contained in the Design SPD and would not result in an unacceptable loss of privacy, overbearing appearance or noise and disturbance to adjoining properties.
- 7.11 Due to the separation distances and relationship with adjoining properties, no loss of light is considered to arise.
- 7.12 For the future occupiers of the property, there is a significant shortfall in the required amenity space as set out in the Design SPD. However, this is the conversion of an existing building within the town centre and balcony areas are provided. In addition, there are two public parks/recreation grounds within close walking distance. The site is in a sustainable location and is considered satisfactory to meet the amenity needs of the future occupiers of the flats. Therefore, the proposal is considered acceptable on amenity grounds, particularly as the site is providing additional residential accommodation within a sustainable town centre location, in compliance with paragraph 14 of the NPPF.
- 7.13 The proposal seeks to provide 4 no. 1 bedroom flats and 2 no. 2 bedroom flats. The flats have floor areas that meet the requirements set out in the minimum floorspace for new dwellings as set out in the Technical Housing Standards - nationally described space standard, and the Council's own Design SPD.
- 7.14 The concerns regarding the commercial uses are noted. However the building is in a commercial use within a town centre location. Any air conditioning units or extraction equipment would require planning permission and any noise and disturbance issues from any potential A3 use would be managed by Environmental Health and Licensing legislation.

## Housing size, type and density

- 7.15 Policy HO1 seeks to deliver housing development within the borough, and to encourage housing development on all suitable sites for that purpose taking

into account other policy objectives. The proposed development is considered to comply with these policy objectives. There is no policy objection to the addition of residential units on this site.

- 7.16 Policy HO4 seeks to ensure that the size and type of housing reflects the needs of the community by requiring development of four or more units to provide at least 80% of their total as one or two bedroom units. The proposed scheme here would provide 100% 1 and 2 bed units and so complies with policy HO4.
- 7.17 Policy HO5 seeks to ensure that new housing development makes effective use of land this policy sets out density guidelines, to ensure that new development respects the density of the surrounding areas, and to direct higher density developments towards town centre locations. This proposal has a gross density of 60 dwellings per hectare (dph). In view of the town centre location, this is considered acceptable.

#### Parking / Transportation

- 7.18 The Council's adopted Parking Standards SPG sets out the Council's minimum parking standards for new development. The proposal would provide a total of 10 off street parking spaces in the existing parking area to the rear of the building including a disabled space, which will be made available only to the residential units. A total of 8 spaces are required for the six flats
- 7.19 The County Highway Authority was consulted on the proposal and raised no objections, stating the scheme would have no material impact on the safety and operation of the adjoining public highway.
- 7.20 No parking is proposed for the proposed commercial units. The CHA considers that any customer/ staff parking would be safely accommodated within the local highway parking bays and there are parking restrictions in the vicinity of the site. In addition it is considered that the site is in a sustainable location on Shepperton High Street where there is good access to public transport and viable alternatives to private car trips. Therefore the proposal is considered acceptable on transportation grounds. The proposal would also provide secure, covered bicycle parking spaces, which is considered acceptable.

#### Other matters

- 7.21 The Comments from SCAN are noted. In addition, Policy HO4 requires developments to encourage inclusion within housing schemes to meet the needs of people with disabilities. However, this proposal is the conversion of an existing building, which is a sustainable form of development, restricted by its existing structure. The proposal does include a disabled toilet and parking space at ground floor level. It is considered that the benefits of the proposal by providing housing on this site are significant and disability access would be covered by Building Regulations.

#### Local Finance Considerations

- 7.22 Under S155 of the Housing and Planning Act 2016, Local Planning Authorities are now required to ensure that potential financial benefits of certain development proposals are made public when a Local Planning Authority is



considering whether or not to grant planning permission for planning applications which are being determined by the Council's Planning Committee. A financial benefit must be recorded regardless of whether it is material to the Local Planning Authority's decision on a planning application, but planning officers are required to indicate their opinion as to whether the benefit is material to the application or not.

- 7.23 In consideration of S155 of the Housing and Planning Act 2016, the proposal is a CIL chargeable development rate of £160 per sq metre of new floorspace. This is a material consideration in the determination of this planning application. The proposal will also generate a New Homes Bonus and Council Tax payments which are not material considerations in the determination of this proposal.

### Conclusion

- 7.24 The proposed development is considered acceptable and provides additional residential units within a sustainable town centre location. The design and scale of the building, whilst being larger than the existing building would have an acceptable impact on the streetscene and the adjoining properties. The scheme would provide satisfactory parking and access arrangements and would not result in any adverse impacts upon the residential amenity of neighbouring properties in terms of any loss of light, privacy or overbearing.

## **8 RECOMMENDATION**

The application is recommended for APPROVAL subject to the following conditions:

### **CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:-.This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Before any work on the development hereby permitted is first commenced details of the materials and detailing to be used for the external surfaces of the building(s) and surface material for parking areas be submitted to and approved by the Local Planning Authority.

Reason:-. To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

3. Prior to the commencement of development a survey report detailing ground conditions of the site shall be submitted to and approved in writing by the

Local Planning Authority. Where made ground or contamination is encountered a scheme to investigate, assess and remediate contamination risks shall be agreed in writing with the Local Planning Authority, and shall be carried out in accordance with the agreed details and timetable.

Reason: To protect the amenities of future residents and the environment from the effects of potentially harmful substances. .

4. Prior to the occupation of the development hereby permitted the balcony screens on the rear and flank elevations at first and second storey level shall be obscure glazed in accordance with details/samples of the type of glazing pattern to be submitted to and approved in writing by the Local Planning Authority. These windows shall thereafter be permanently retained as installed.

Reason:- To safeguard the privacy of the adjoining properties, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

5. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building is occupied. Development shall be carried out in accordance with the approved details and maintained as approved.

Reason:-. To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

6. No development shall take place until full details of both soft and hard landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The trees and shrubs shall be planted on the site within a period of 12 months from the date on which development hereby permitted is first commenced, or such longer period as may be approved by the Local Planning Authority, and that the planting so provided shall be maintained as approved for a period of 5 years, such maintenance to include the replacement in the current or next planting season whichever is the sooner, of any trees or shrubs that may die, are removed or become seriously damaged or diseased, with others of similar size and species, unless the Local Planning Authority gives written permission to any variation.

Reason:-. To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development. In accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

7. That the parking and turning, loading, and unloading space shown on the submitted plan be constructed within three months of the commencement of any part of the development permitted, or such longer period as may be

approved by the Local Planning Authority, and thereafter the approved facilities together with the means of access thereto shall be maintained as approved, and be reserved for the benefit of the development hereby permitted.

Reason:-. To ensure that the proposed development does not prejudice the free flow of traffic or the conditions of general safety along the neighbouring highway(s) and to ensure that the facilities provided are reserved for the benefit of the development for which they are specifically required, in accordance with policy CC3 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

8. That within 3 months of the commencement of any part of the development submitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the curtilage of the site for the storage of refuse and waste materials in accordance with the details hereby approved, and thereafter shall be maintained as approved.

Reason:-. To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

9. That no further openings of any kind be formed in the rear elevation of the development hereby permitted without the prior written consent of the Local Planning Authority.

Reason:-. To safeguard the amenity of neighbouring residential properties, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

10. The development hereby permitted shall be carried out in accordance with the following approved plans: SITE LOCATION PLAN; 441-12E; 441-14D; 441-15D; 441-1; 441-2; 441-3; 441-11; 441-6; 441-7; 441-17; 441-18D; 441-19; 441-16E; 441-9G; 441-10G received 23.10.2017 and 441-13E; 441-8H received 12.12.2017.

Reason:-. For the avoidance of doubt and in the interest of proper planning.

### **INFORMATIVES TO APPLICANT**

1. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.

The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device

or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.

The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

All buildings or apparatus (with the exception of projecting signs) which project over or span the highway, including balconies, may be erected only with the formal approval of the Transportation Development Planning Division of Surrey County Council under Section 177 or 178 of the Highways Act 1980.

2. The Town and Country Planning (Development Management Procedure) (England) Order 2015

Working in a positive/proactive manner

In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

Provided or made available pre application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.

3. Historically land across Spelthorne has been subjected to extensive mineral extraction, with subsequent infilling of the resultant voids. Excavations during some development works have encountered fill materials where records have not previously identified a history of extraction / infilling.

To confirm ground conditions at the application site minimum requirements of the survey are as follows:

- The excavation of 2 -3 trial holes to a depth of 1.00mbgl. This can be done by hand or with a small digger
- At least one location beneath the footprint of the proposed dwelling and another one to two holes within the proposed rear garden and other associated landscaped areas.
- an inspection to be made of the ground conditions and confirm the absence or otherwise of any made ground / fill materials at this property, their thickness and extent.
- Photographs shall be taken of each exploratory position including all associated soil arisings (soils excavated and placed to the side of the hole as works progress).
- Where different soil horizons are encountered (i.e. topsoil to 0.40mbgl overlying a layer of sandy gravel to 0.60mbgl with stiff clay to the base of the excavation (c.1.00mbgl)) appropriate written logs will be required to detail the depths, thickness and description of the materials encountered.
- a scale plan (such as the site layout plan) indicating the location of the exploratory positions in relation to the proposed property and a photograph taken across the site detailing the soils and arisings.

- The information, logs and photographs can be submitted to us in a simple letter report.
- If made ground materials are encountered during the excavations soil sampling and assessment of contamination risks will be required to be undertaken by a suitably qualified person.

Made ground refers to non natural / notable fill materials – fragments of brick, concrete, metal, plastic, timber, glass, ashy materials. Evidence of contamination is identified by either visual (staining of soil or sheens on groundwater (if encountered)) or olfactory means (organic, tarry, hydrocarbon / petrochemical odours). In the event that materials of this nature are discovered during the survey, you are advised to contact us for further guidance.

4 You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:

- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
- (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
- (c) Deliveries should only be received within the hours detailed in (a) above;
- (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
- (e) There should be no burning on site;
- (f) Only minimal security lighting should be used outside the hours stated above; and
- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - [www.ccscheme.org.uk/index.php/site-registration](http://www.ccscheme.org.uk/index.php/site-registration).

5. The applicant is advised that the essential requirements for an acceptable communication plan for surrounding properties forming part of a Method of Construction Statement are viewed as:

- (a) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme;
- (b) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them;
- (c) the arrangements that will be in place to ensure a reasonable telephone response during working hours;

(d) the name and contact details of the site manager who will be able to deal with complaints; and

(e) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme

(<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

PERCEPTIONS



PERCEPTIONS  
ARCHITECTURAL  
AND DESIGN SERVICES

Telephone  
+44(0)208201 9818  
Facsimile  
+44(0)2084880578

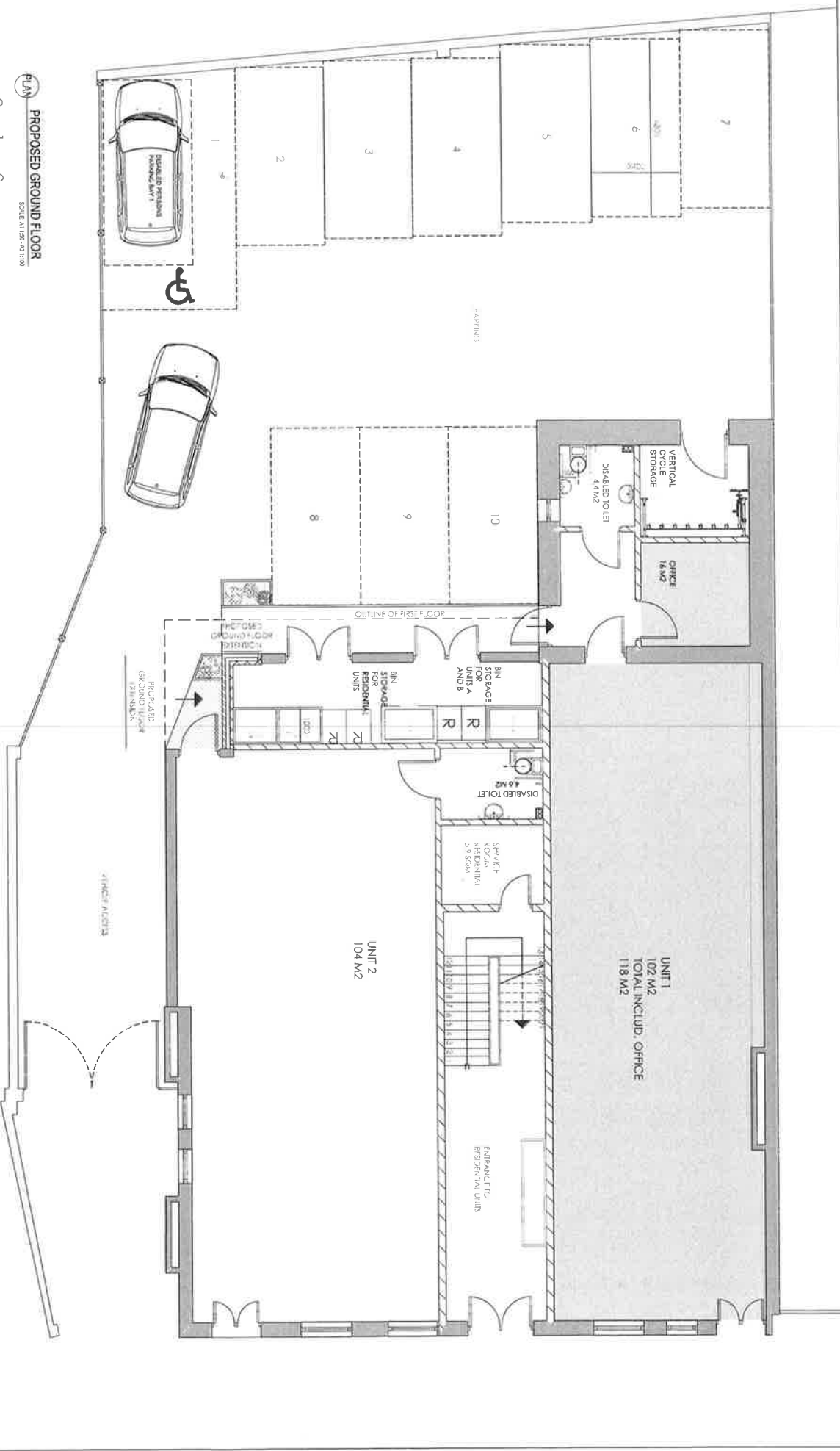
CLIENT: THAMES HOUSE PROPERTIES LTD MR AND MRS SHAKIRY			
JOB: 42 HIGH STREET - SHEPPERTON			
DRAWING: PROPOSED GROUND FLOOR		DATE: MAY 2017	STATUS: REVISED
DATE: JULY 2017	SCALE: AS SHOWN	DATE: MAY 2017	STATUS: REVISED

NO	DATE	DESCRIPTION
1	27/07/16	FOR APPROVAL
2	07/08/16	FOR APPROVAL
3	10/08/16	FOR APPROVAL
4	10/08/16	FOR APPROVAL
5	10/08/16	FOR APPROVAL
6	10/08/16	FOR APPROVAL
7	10/08/16	FOR APPROVAL
8	10/08/16	FOR APPROVAL
9	10/08/16	FOR APPROVAL
10	10/08/16	FOR APPROVAL
11	10/08/16	FOR APPROVAL
12	10/08/16	FOR APPROVAL
13	10/08/16	FOR APPROVAL
14	10/08/16	FOR APPROVAL
15	10/08/16	FOR APPROVAL

PERMISSIONS REQUIRED FOR THIS PROJECT: BUILDING REGULATION, PLANNING, HIGHWAYS, FIRE, ENVIRONMENTAL, AND OTHER LOCAL AUTHORITY PERMISSIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS. THE ARCHITECT'S ROLE IS TO DESIGN AND DETAIL THE BUILDING AND LANDSCAPE TO COMPLY WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING PERMISSIONS OR FOR THE CONSEQUENCES OF NOT OBTAINING PERMISSIONS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

PERMISSIONS REQUIRED FOR THIS PROJECT: BUILDING REGULATION, PLANNING, HIGHWAYS, FIRE, ENVIRONMENTAL, AND OTHER LOCAL AUTHORITY PERMISSIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMISSIONS. THE ARCHITECT'S ROLE IS TO DESIGN AND DETAIL THE BUILDING AND LANDSCAPE TO COMPLY WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING PERMISSIONS OR FOR THE CONSEQUENCES OF NOT OBTAINING PERMISSIONS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

**PROPOSED GROUND FLOOR PLAN**  
SCALE: 1:150 @ A3



ANY PERMISSIONS TO BE OBTAINED TO BE OBTAINED BY THE ARCHITECT ON BEHALF OF THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR OBTAINING PERMISSIONS OR FOR THE CONSEQUENCES OF NOT OBTAINING PERMISSIONS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

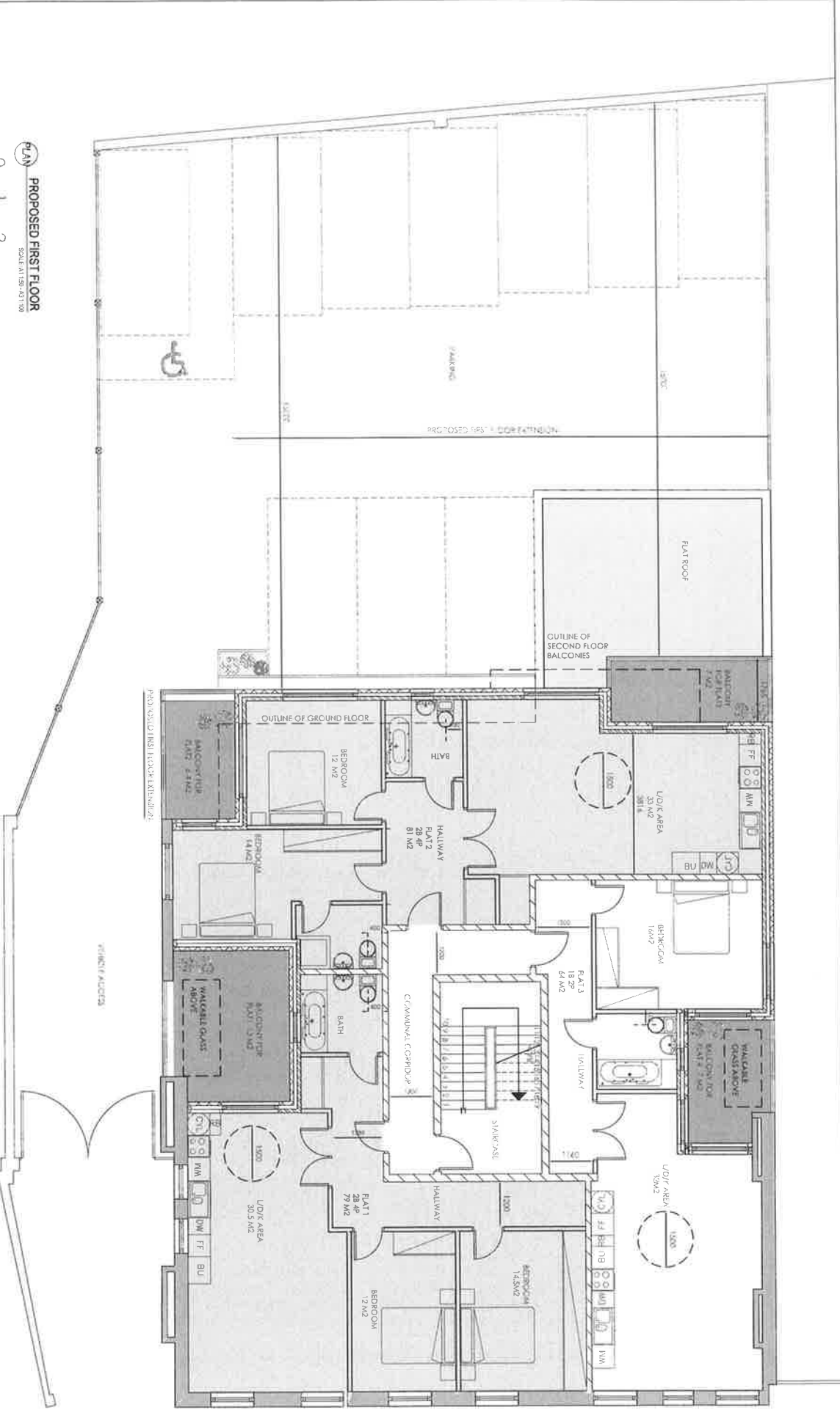


**PERCEPTIONS**  
 ARCHITECTURAL  
 AND DESIGN SERVICES

10410 POND  
 441(208)201 9818  
 441(208)4591578

CLIENT:	IHAMES HOUSE PROPERTIES LTD MR AND MRS SHAKIRY			
JOB:	42 HIGH STREET - SHEPPERTON			
DRAWINGS:	PROPOSED FIRST FLOOR			
DATE:	NOV 2017	DATE:	JAN 2017	STATUS:
SCALE:	AS SHOWN	SCALE:	AS SHOWN	SCALE:
DATE:	NOV 2017	DATE:	JAN 2017	DATE:

**PLAN**  
**PROPOSED FIRST FLOOR**  
 SCALE 1:150 = 1:100



**KEY**

- A. 200mm CONCRETE FLOOR
- B. 200mm CONCRETE WALL
- C. 200mm CONCRETE WALL
- D. 200mm CONCRETE WALL
- E. 200mm CONCRETE WALL
- F. 200mm CONCRETE WALL
- G. 200mm CONCRETE WALL
- H. 200mm CONCRETE WALL
- I. 200mm CONCRETE WALL
- J. 200mm CONCRETE WALL
- K. 200mm CONCRETE WALL
- L. 200mm CONCRETE WALL
- M. 200mm CONCRETE WALL
- N. 200mm CONCRETE WALL
- O. 200mm CONCRETE WALL
- P. 200mm CONCRETE WALL
- Q. 200mm CONCRETE WALL
- R. 200mm CONCRETE WALL
- S. 200mm CONCRETE WALL
- T. 200mm CONCRETE WALL
- U. 200mm CONCRETE WALL
- V. 200mm CONCRETE WALL
- W. 200mm CONCRETE WALL
- X. 200mm CONCRETE WALL
- Y. 200mm CONCRETE WALL
- Z. 200mm CONCRETE WALL

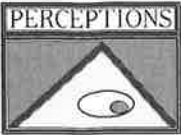
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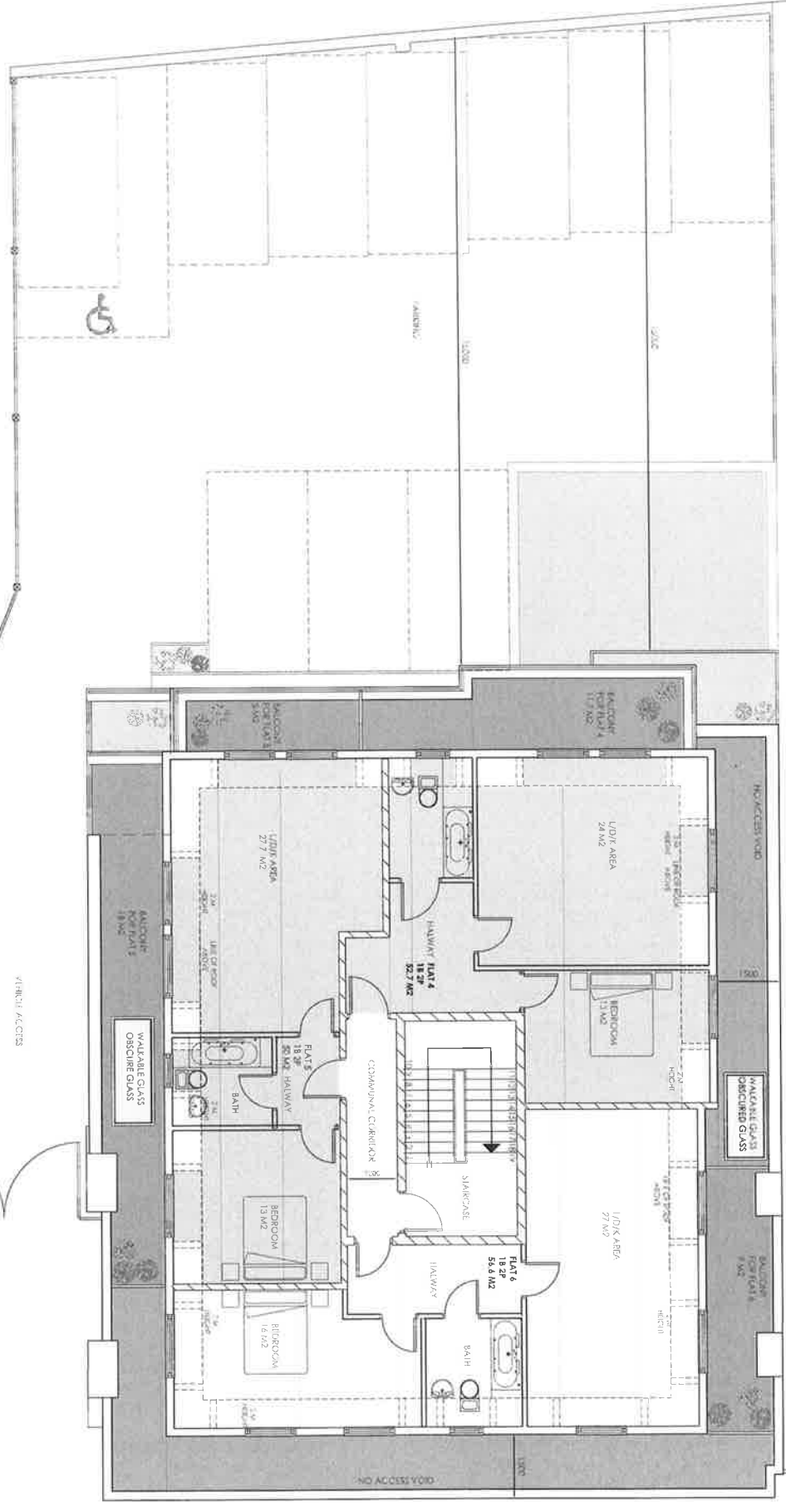




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**PROPOSED SECOND FLOOR**  
SCALE: 1/8" = 1'-0" (1:24)



CLIENT: HAMMIS HOUSE PROPERTIES LTD  
MR AND MRS SIAKIRY

JOB: 42 HIGH STREET - SHEPPERSON

DRAWING: PROPOSED SECOND FLOOR

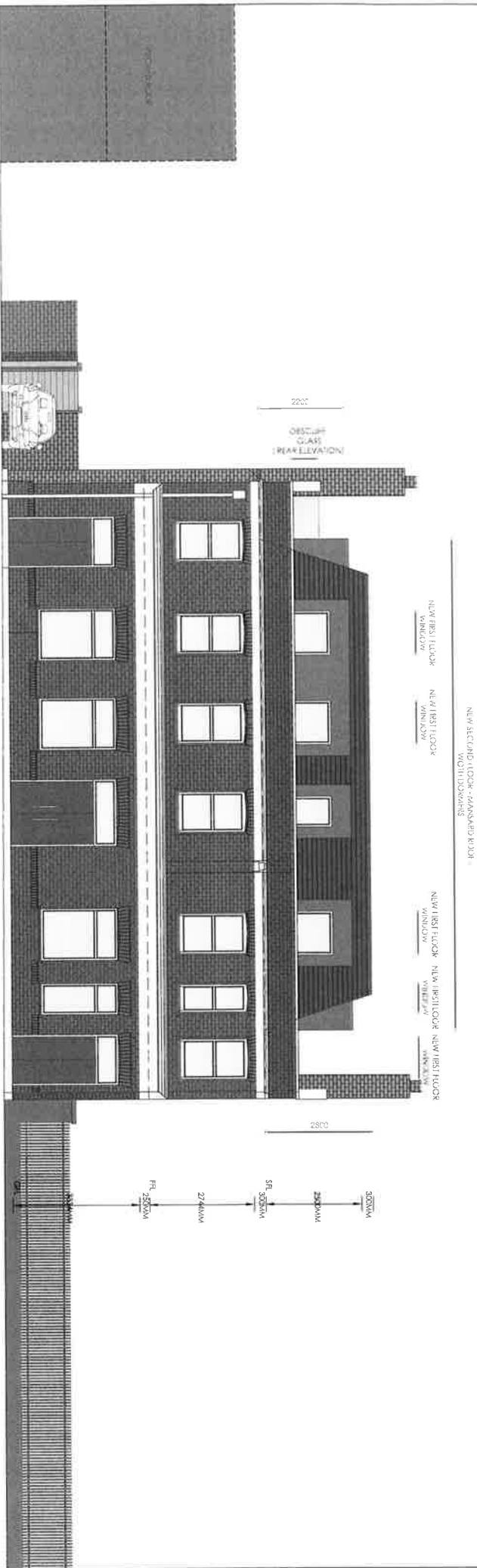
NO.	DATE	BY	CHKD.	REVISION
1	11/11/2011			ISSUE FOR PERMIT
2	11/11/2011			ISSUE FOR PERMIT
3	11/11/2011			ISSUE FOR PERMIT
4	11/11/2011			ISSUE FOR PERMIT
5	11/11/2011			ISSUE FOR PERMIT
6	11/11/2011			ISSUE FOR PERMIT
7	11/11/2011			ISSUE FOR PERMIT
8	11/11/2011			ISSUE FOR PERMIT
9	11/11/2011			ISSUE FOR PERMIT
10	11/11/2011			ISSUE FOR PERMIT

REVISIONS:

1. ISSUED FOR PERMIT
2. ISSUED FOR PERMIT
3. ISSUED FOR PERMIT
4. ISSUED FOR PERMIT
5. ISSUED FOR PERMIT
6. ISSUED FOR PERMIT
7. ISSUED FOR PERMIT
8. ISSUED FOR PERMIT
9. ISSUED FOR PERMIT
10. ISSUED FOR PERMIT

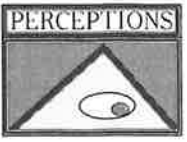
NOTES:

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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SERVICES AND STRUCTURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.



**ELE** PROPOSED FRONT ELEVATION

Scale: 1:100



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<b>CLIENT:</b>	THAMES HOUSE PROPERTIES LTD MR AND MRS SHAKRY
<b>JOB:</b>	42 HIGH STREET - SHEPPERTON
<b>DRAWING:</b>	PROPOSED FRONT ELEVATION (OPTION 1-A)
<b>DATE:</b>	16/12/2017
<b>SCALE:</b>	1:100
<b>DATE:</b>	16/12/2017
<b>DATE:</b>	16/12/2017
<b>DATE:</b>	16/12/2017
<b>DATE:</b>	16/12/2017

REVISION	NO	DATE	SUBJECT
A	1	22.09.2016	GENERAL REVISIONS
B	2	01.07.2016	GENERAL REVISION
C	3	12.10.2016	GENERAL REVISIONS AS DISCUSSED WITH PLANNING OFFICE
D	4	16.01.2017	NUMBER OF FLATS PROPOSED 36000 UNITS INCREASED IN THE STANDARD SEPARATION DISTANCE BETWEEN THE BUILDING AND JOINING. PROPOSER REQUESTED TO COMPLY WITH COUNTY POLICE BULK AND SPACES ON THE BUILDING AND SPACES
E	5	16.10.2017	ROOM CHANGED TO MANSARD ROOM WITH DOWNLAP. LVAI REQUIRED TO SIGN LVAI BALCONY REPORT TO IN SITE TO COMPLY WITH SHERIFFS ARCHITECTURAL CONSULTANTS INITIAL LAYOUT REVISED
F	6	11.12.2017	RETRACT CORNER WITH CURVED GLASS AND TO REAR ELEVATION

**DISCREPANCIES TO BE NOTICED TO THE ATTENTION OF THE ARCHITECT (SHEPPERTON)**

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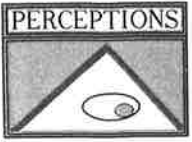
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PROPOSED SECOND FLOOR MANWARD ROOF  
WITH OVERHANG  
PROPOSED FIRST FLOOR EXTENSION



**ELE** PROPOSED REAR ELEVATION  
SCALE 1:100



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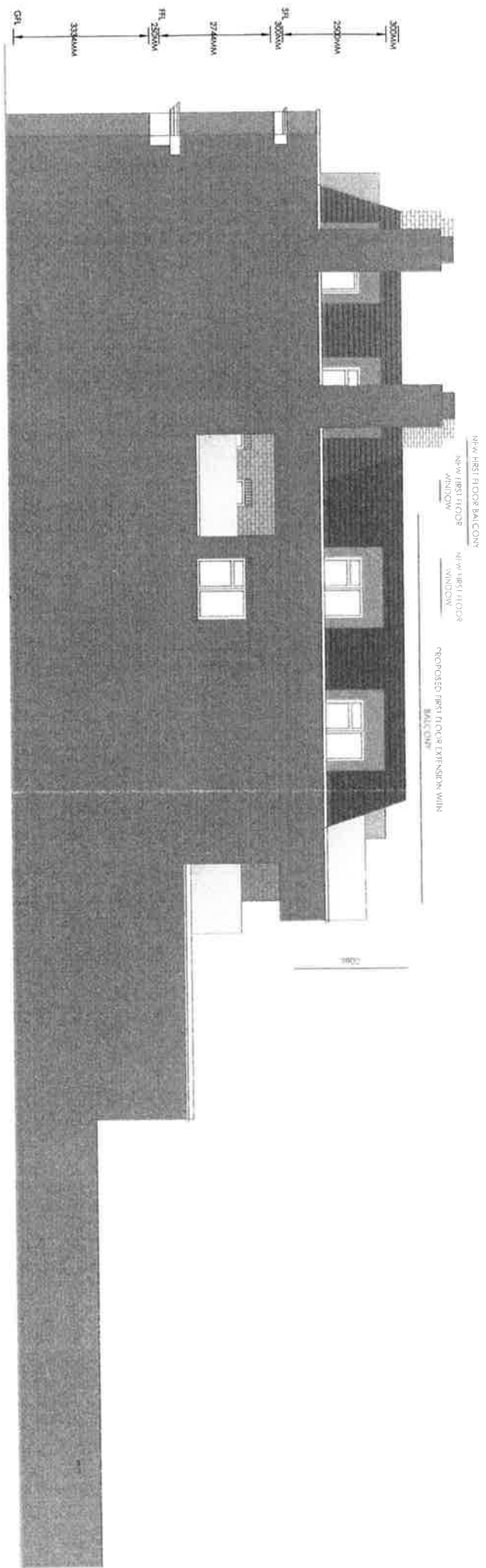
CLIENT:	THAMES HOUSE PROPERTIES LTD MR AND MRS SHAKIRY	REV
JOB:	42 HIGH STREET - SHEPPERTON	
DRAWING:	PROPOSED REAR ELEVATION	
DRAWN BY:	AS1 JSE	DATE:
SCALE:	A3 1:100	STATUS:
		ISSUED TO:
		DATE:

REVISION	NO	DATE
A	1	01/09/2016
B	2	16/01/2017
C	3	16/10/2017
D	4	07/12/2017

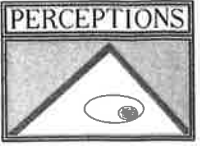
SUBJECT: GENERAL REVISIONS  
GENERAL REVISION  
NUMBER OF FLATS REPIRE FOR SMALL UNITS INCREASED IN SIZE  
STANDING SEPARATION DISTANCES BETWEEN THE BUILDINGS AND JOINING  
REFERENCE REVISED TO COMPLY WITH CURRENT LL POLICIES  
RUB AND WASS OF THE BUILDING REDUCED  
ROOF CHANGED TO MANWARD ROOF WITH DOUBBLE GLAZED PITCHED TO SUIT FLATS  
BALCONIES REDUCED IN SIZE TO COMPLY WITH SHELTERED  
COUNTY POLICIES AND FINAL LAYOUT REVISED  
PROVISED GLASS WITH OBSCURE GLASS APPLIED TO FIRST AND SECOND FLOOR REAR  
HALL

1:1000  
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THE LOCAL AUTHORITY  
DISCREPANCIES  
AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT  
OF THE ARCHITECTURAL FIRM

NEW SECOND FLOOR MANSBARD ROOF  
WITH DOWNPIERS



**ELE** PROPOSED SIDE ELEVATION B  
Scale 1:100



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CLIENT:	THAMES HOUSE PROPERTIES LTD MR AND MRS SHAKIRY	REV
JOB:	49 HIGH STREET - SHEPPERTON	
DRAWING:	PROPOSED SIDE ELEVATION B	
DATE	DATE	DATE
14.10.17	16.10.17	16.10.17

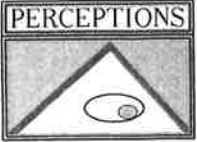
NO	DATE
A	27.04.2016
B	01.07.2016
C	15.07.2017
	16.10.17

**SUBJECT**  
GENERAL REVISIONS  
GENERAL REVISIONS  
NUMBERED 1 TO 5 IN ORDER OF REVISIONS  
STANDARD REVISIONS INSTANT IN BETWEEN, BUT PUTTING IN ORDER OF REVISIONS  
DATE AND NUMBER OF THE REVISIONS  
REVISIONS MADE TO THE DRAWING BY SP 1/15  
REVISIONS MADE TO THE DRAWING BY SP 1/15  
REVISIONS MADE TO THE DRAWING BY SP 1/15

17/01634



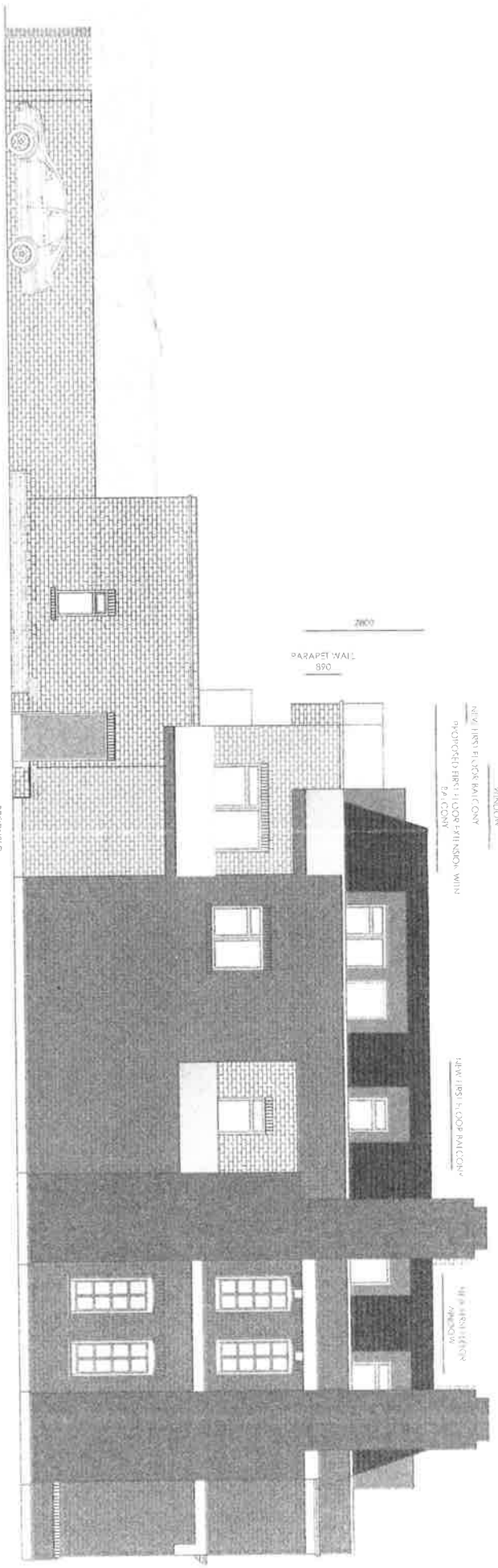
ALL WORK IS TO BE CARRIED OUT TO THE REQUIREMENTS AND TO THE SATISFACTION OF THE LOCAL AUTHORITY.  
DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.  
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.



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**PROPOSED SIDE ELEVATION A**  
 Scale: 1/16" = 1'-0"



CLIENT	THAMES HOUSE PROPERTIES LTD MR AND MRS SHAKIRY	REV	
JOB	42 HIGH STREET - SHEPPERTON		
DRAWING	PROPOSED SIDE ELEVATION A		

NO	REVISION	DATE
1		27 MAR 2014
2		01 APR 2014
3		14 APR 2014
4		14 APR 2014

**SUBJECT**  
 CHURCH REVISIONS  
 GRASSLAND EXTENSION  
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**17/01634**